

# SUNBURY MUNICIPAL BUILDING FIRST FLOOR RENOVATION

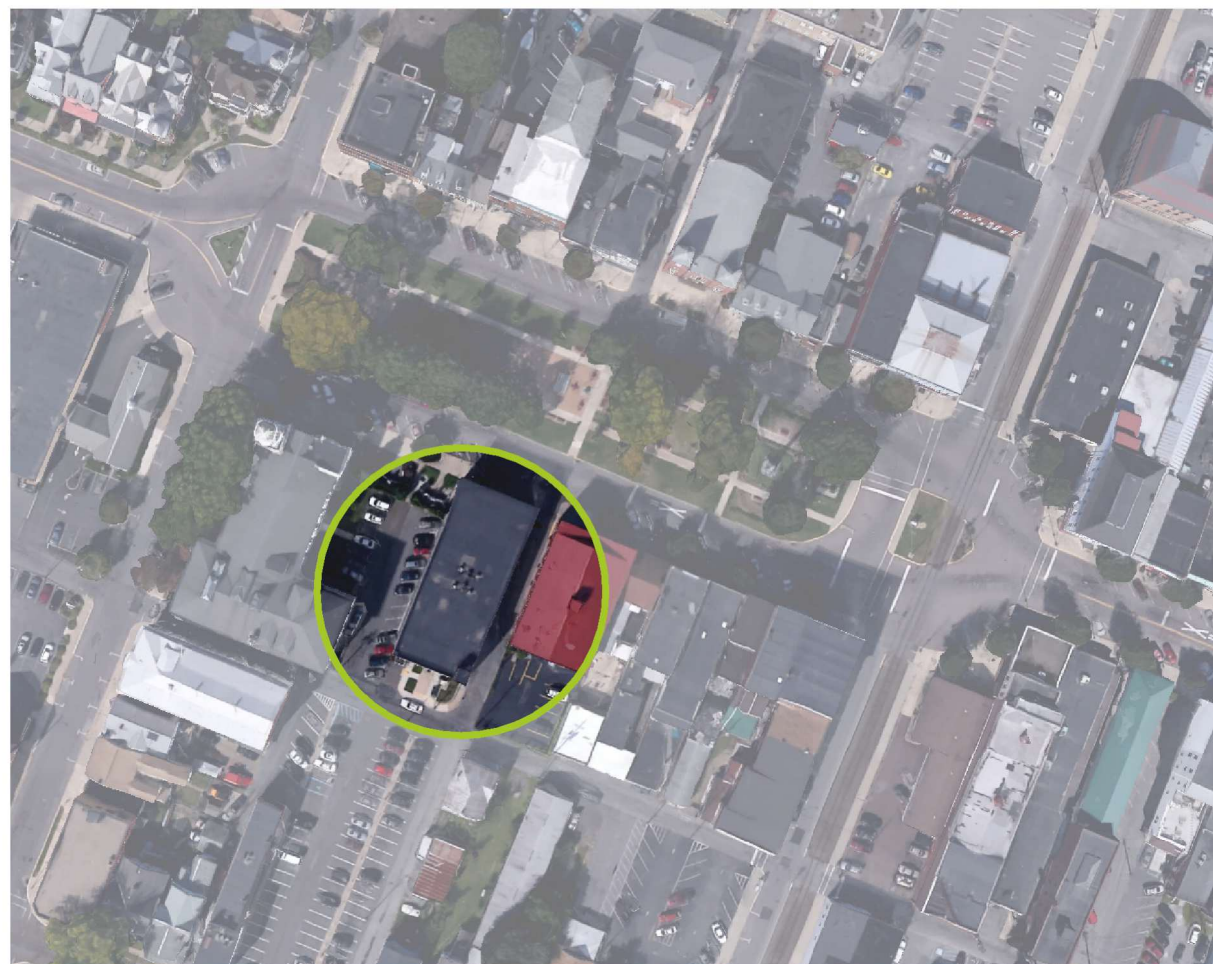
## THE CITY OF SUNBURY

ISSUED FOR RE-BID: 11.4.2024

### ACCESSIBILITY & CONSTRUCTION STANDARDS

REF. TO ANSI A117.1 - 2009

### SITE LOCATION MAP



### MARKET STREET ENTRANCE



### CONTACTS

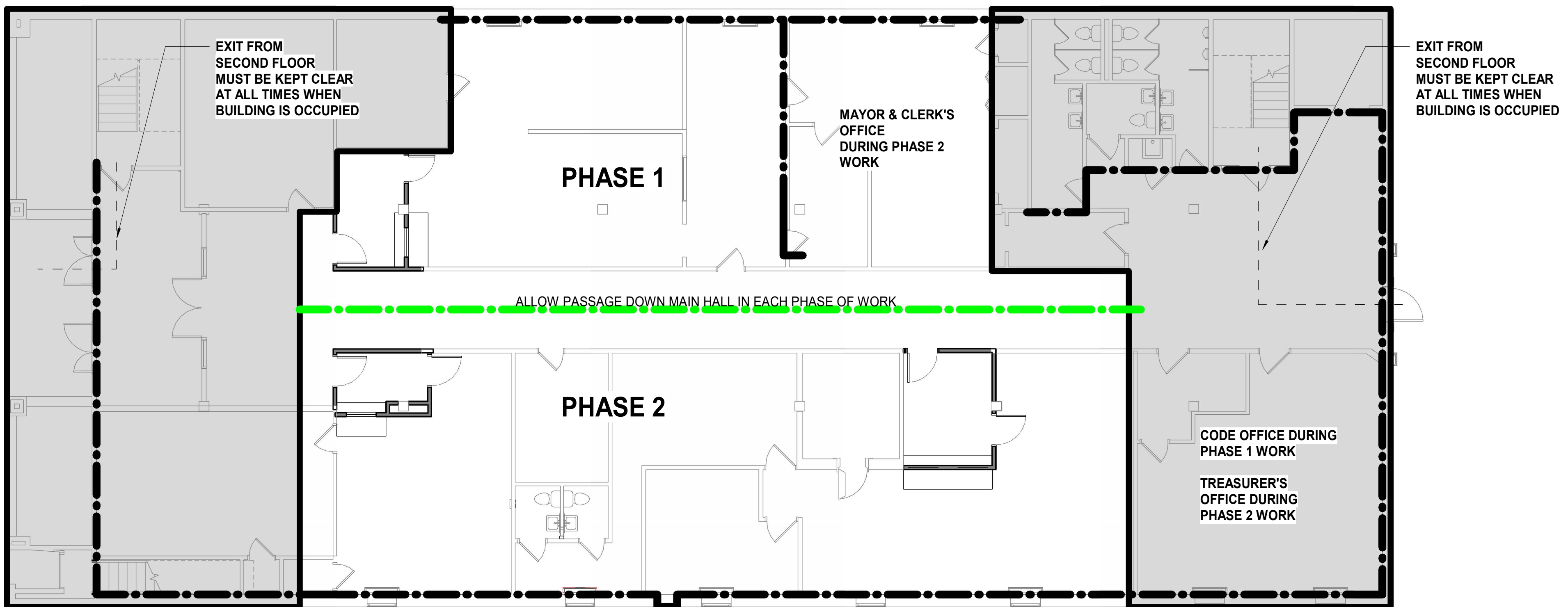
**PROJECT ARCHITECT**

- NAME: MAROTTA / MAIN ARCHITECTS
- CONTACT: 700 NORTH 4TH STREET
- ADDRESS: SUITE A, SUNBURY PA, 17801
- EMAIL: TLS@MAROTTAMAIN.COM
- PHONE: (570)-286-2526

**OWNER**

- NAME: SUNBURY CITY
- CONTACT: JOSHUA BROSIOS, MAYOR
- ADDRESS: 225 MARKET STREET
- ADDRESS: SUNBURY PA, 17801
- EMAIL: JBROSIOS@SUNBURYPA.ORG
- PHONE: (570)-286-3000

### PHASING PLAN



### MATERIALS

	ACOUSTICAL CEILING TILE (ACT)		METAL-STEEL
	BRICK		MORTAR
	CONCRETE-SECTION		PLASTER ON METAL LATH
	CONCRETE BLOCK (CMU)		WOOD-BLOCKING DISCONTINUOUS
	GRAVELSTONE FILL		WOOD-FRAMING CONTINUOUS
	GYPSUM BOARD		WOOD-FINISH
	INSULATION-BATT		WOOD SHEATHING
	INSULATION-RIGID		

### DESIGN CRITERIA

#### THERMAL DESIGN PARAMETERS

Condition	Value
Interior Design Temperature (Heating)	
Reference IECC Section 302.1	= 72° Maximum
Interior Design Temperature (Cooling)	
Reference IECC Section 302.1	= 75° Maximum
Climate Zone (IECC Table 301.1)	= 5
Degree Days Heating (Local Reference)	= 6160
Degree Days Cooling (Local Reference)	= 700

#### CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

Condition	Value
Ground Snow Load	= 35 psf
Wind Speed (mph)	= 90 MPH w/ gusts of 115 MPH
Seismic Design Category	at 3 seconds
Weathering	= A/B
Frost Line Depth	= Severe
Termite	= 40"
Decay	= Not specified
Winter Design Temp.	= Slight to Moderate
Ice Shield Underlayment Required	= 9 degrees fahrenheit
Flood Hazards	= Yes
Air Freezing Index	= Check with Municipality
Mean Annual Temp.	= 1000
	= 55

### SYMBOLS

	WALL SECTION		WINDOW REFERENCE
	DETAIL SECTION		DATUM ELEVATION
	DETAIL-PLAN VIEW		WALL / ASSEMBLY TYPE
	INTERIOR ELEVATIONS		EXISTING STRUCTURAL GRID LINE
	EXTERIOR ELEVATIONS		NEW STRUCTURAL GRID LINE
	DOOR NUMBER		KEYNOTE

WHEELCHAIR TURNING RADIUS - EXIST. BUILDING	ACCESSIBLE CLEAR FLOOR SPACE	CLEAR WIDTH OF ACCESSIBLE ROUTE	FRONT APPROACH - PULL SIDE	FRONT APPROACH - PUSH SIDE
FRONT APPROACH - SLIDING & FOLDING DOORS	LATCH APPROACH - PULL SIDE	LATCH APPROACH - PUSH SIDE	HINGE APPROACH - PULL SIDE	TWO HINGED DOORS IN SERIES
ACCESSIBLE TOILET COMPARTMENT	ACCESSIBLE GRAB BARS	TOILET TISSUE DISPENSER LOCATION PROTRUDING BELOW GRAB BAR	ACCESSIBLE URINAL	
ACCESSIBLE LAVATORY	ACCESSIBLE SINK & MIRROR	ADA FLOOR CLEARANCES	ADA SPOUT & KNEE CLEARANCES	DRINKING FOUNTAIN SPOUT HEIGHTS
ACCESSIBLE TRANSFER SHOWER	ACCESSIBLE TRANSFER SHOWER GRAB BAR & CONTROL HEIGHTS	PAPER TOWEL MOUNTING HEIGHT	DOOR HARDWARE MOUNTING HEIGHTS	FIRE EXTINGUISHER MOUNTING HEIGHTS
BRAILLE SIGN HEIGHTS	COMMON MOUNTING HEIGHTS - UON			

### ABBREVIATIONS

@ - AT	DWG. - DRAWING	FRT - FIRE RETARDANT TREATED	MFR - MANUFACTURER	REQ'D - REQUIRED
ADJ. - ADJUSTABLE	E.C. - ELECTRICAL CONTRACTOR	FT. - FOOT / FEET	MAX. - MAXIMUM	RESP. - RESPONSIBLE
A.F.F. - ABOVE FINISH FLOOR	EA - EACH	F.V. - FIELD VERIFY	MECH - MECHANICAL	RET. - RETURN
ALT. - ALTERNATE	EJ - EXPANSION JOINT	G.C. - GENERAL CONTRACTOR	MEZZ - MEZZANINE	SF - SQUARE FEET
ALUM. - ALUMINUM	ELEC. - ELECTRICAL	GW/B - GYPSUM WALLBOARD	MIN. - MINIMUM	SCH. - SCHEDULE
ARCH. - ARCHITECT	EQ. - EQUAL	GALV. - GALVANIZED	M.O. - MASONRY OPENING	STL. - STEEL
B.F.F. - BELOW FINISH FLOOR	EQUIV. - EQUIVALENT	HGT. - HEIGHT	MTL. - METAL	T.O. - TOP OF
BSMT. - BASEMENT	EXIST. - EXISTING	HORIZ. - HORIZONTAL	N.I.C. - NOT IN CONTRACT	TEMP. - TEMPORARY
BOT. - BOTTOM	EXPAN. - EXPANSION	HEATING. - HEATING, VENTILATION & AIR	O.C. - ON CENTER	TYP. - TYPICAL
BRD. - BOARD	EXT. - EXTERIOR	COND. - CONDITIONING	P.C. - PLUMBING CONTRACTOR	U.G. - UNDERGROUND
CMU - CONCRETE MASONRY UNIT	FD - FLOOR DRAIN	INSUL. - INSULATION	PSF - PER SQUARE FOOT	U.O. - UNLESS NOTED OTHERWISE
CL. - CENTERLINE	F.E. - FIRE EXTINGUISHER	INT. - INTERIOR	PSI - PER SQUARE INCH	VWC. - VINYL WALLCOVERING
CLO. - CEILING	F.E.C. - FIRE EXTINGUISHER CABINET	I.J. - ISOLATION JOINT	P.T. - PERIMETER	VERT. - VERTICAL
CLR. - CLEAR	F.F. - FINISH FLOOR	L.F. - LINEAL FOOT	PLUMB. - PLUMBING	W. - WITH
CONC. - CONCRETE	FLR. - FLOOR	M.C. - MECHANICAL CONTRACTOR	REF. - REFLECTED CEILING PLAN	W/O - WITHOUT
CONST. - CONSTRUCTION	FRMG. - FRAMING	M.R.B. - MOISTURE RESISTANT BOARD	R.O. - ROUGH OPENING	W.D. - WOOD
C.J. - CONTROL JOINT				



2018 INTERNATIONAL BUILDING CODE			
SECTION	ISSUE	REQUIRED	PROVIDED
001	OCCUPANCY CLASSIFICATION	BY OCCUPANCY CLASS, AS APPROPRIATE	BY OCCUPANCY CLASS
002	ALLOWABLE HEIGHT	TABLE 504.3 OCCUPANCY, NONSPRINKLERED, TYPE III CONSTRUCTION	COMPLIES
003	ALLOWABLE STORIES ABOVE GRADE	TABLE 504.3 OCCUPANCY, NONSPRINKLERED, TYPE III CONSTRUCTION	COMPLIES
004	ALLOWABLE STORIES ABOVE GRADE	TABLE 504.3 OCCUPANCY, NONSPRINKLERED, TYPE III CONSTRUCTION	COMPLIES
005	ALLOWABLE AREA	TABLE 501 OCCUPANCY, NONSPRINKLERED, TYPE III CONSTRUCTION FLOOR 01 a.3 OCCUPANCY, NONSPRINKLERED, TYPE III-VI CONSTRUCTION PRIMARY STRUCTURAL FRAME, 0 OR 1R OUTER EXTERIOR BEARING WALLS $\geq 1.8R$ INTERIOR BEARING WALLS $\geq 1.8R$ NON-BEARING WALLS $\geq 1R$ FLOOR 01-13 b. OCCUPANCY, NONSPRINKLERED, TYPE III CONSTRUCTION INTERIOR EXTERIORS $\geq 1.8R$ 1R INTERIOR EXTERIORS $\geq 1.8R$ 1R CONCEALED EXTERIOR EXITS ACCESS EXTERIORS $\geq 1.8R$ ROOFS AND EXPOSED EAVES $\geq 1.8R$ AN EXISTING STRUCTURE SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS UNDER REVIEW BY SECTION 501.3 c. OCCUPANCY, NONSPRINKLERED, TYPE III CONSTRUCTION WHERE ONE OF THE FOLLOWING CONDITIONS ARE MET: 1. THE GROUP'S OCCUPANCY CLASS IS AL-1, 0 OR S-1 OR S-2 OR S-3 2. THE GROUP'S OCCUPANCY CLASS IS AL-2 OR S-4 OR S-5 OR S-6 OR S-7 3. THE GROUP'S OCCUPANCY CLASS IS AL-3 OR S-8 OR S-9 OR S-10 OR S-11 OR S-12 OR S-13 OR S-14 OR S-15 OR S-16 OR S-17 OR S-18 OR S-19 OR S-20 OR S-21 OR S-22 OR S-23 OR S-24 OR S-25 OR S-26 OR S-27 OR S-28 OR S-29 OR S-30 OR S-31 OR S-32 OR S-33 OR S-34 OR S-35 OR S-36 OR S-37 OR S-38 OR S-39 OR S-40 OR S-41 OR S-42 OR S-43 OR S-44 OR S-45 OR S-46 OR S-47 OR S-48 OR S-49 OR S-50 OR S-51 OR S-52 OR S-53 OR S-54 OR S-55 OR S-56 OR S-57 OR S-58 OR S-59 OR S-60 OR S-61 OR S-62 OR S-63 OR S-64 OR S-65 OR S-66 OR S-67 OR S-68 OR S-69 OR S-70 OR S-71 OR S-72 OR S-73 OR S-74 OR S-75 OR S-76 OR S-77 OR S-78 OR S-79 OR S-80 OR S-81 OR S-82 OR S-83 OR S-84 OR S-85 OR S-86 OR S-87 OR S-88 OR S-89 OR S-90 OR S-91 OR S-92 OR S-93 OR S-94 OR S-95 OR S-96 OR S-97 OR S-98 OR S-99 OR S-100 OR S-101 OR S-102 OR S-103 OR S-104 OR S-105 OR S-106 OR S-107 OR S-108 OR S-109 OR S-110 OR S-111 OR S-112 OR S-113 OR S-114 OR S-115 OR S-116 OR S-117 OR S-118 OR S-119 OR S-120 OR S-121 OR S-122 OR S-123 OR S-124 OR 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OCCUPANCY LEGEND		EGRESS LEGEND		EXIT SIGN LEGEND		FIRE ALARM LEGEND		GENERAL NOTES	
		   		   		    		<ol style="list-style-type: none"> <li>1. NON-RATED ASSEMBLIES ARE NOT TO PENETRATE RATED ASSEMBLIES</li> <li>2. 1 HOUR RATED ASSEMBLIES ARE NOT TO PENETRATE 3 HOUR RATED ASSEMBLIES</li> <li>3. ALL RATED PARTITIONS SHALL CONTINUE TO UNDERSIDE OF DECK AND BE SEALED WITH APPROPRIATE FIRE-CAULKING. ALL PENETRATIONS SHALL BE SEALED WITH APPROPRIATE FIRE-CAULKING</li> <li>4. ALL SMOKE PARTITIONS SHALL CONTINUE TO UNDERSIDE OF STRUCTURE AND BE SEALED WITH APPROPRIATE CAULKING. ALL PENETRATIONS SHALL BE SEALED WITH APPROPRIATE CAULKING</li> <li>5. ALL PENETRATIONS THROUGH RATED CONSTRUCTION SHALL BE SEALED TO MATCH THE PARTITION RATING</li> <li>6. ADA EXIT SIGNAGE SHALL COMPLY WITH IBC 1110.3.2</li> <li>7. ANY TACTILE SIGN MOUNTED ON GLASS TO HAVE A BLANK PANEL, THE SAME SHAPE AND SIZE ON THE OPPOSITE SIDE TO CONCEAL THE TAPE</li> <li>8. TACTILE SIGNAGE COLORS AND STYLES SELECTED BY OWNER AND /OR ARCHITECT</li> </ol>	
<b>FIRE SEPERATION LEGEND</b>    		<b>TACTILE SIGNAGE (T.S.) LEGEND</b>    		   		<b>FIRE EQUIPMENT LEGEND</b>    			
		*SEE ADJACENT TEXT NEXT TO SYMBOL FOR ELEVATION TYPE. REF. ELEVATION DETAILS		*SEE ELECTRICAL DRAWINGS FOR EMERGENCY LIGHTING SPECIFICS*					



**SUNBURY MUNICIPAL BUILDING FIRST  
FLOOR RENOVATION**

**THE CITY OF SUNBURY**  
225 MARKET ST, SUNBURY, PA  
17801

ISSUE DATES		DESCRIPTION:	
DATE:			
PROJ # :	24040	DRAWN BY :	GMB/TL
SHEET TITLE:		DATE: 9/18/2024	

**CODE SUMMARY**

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**SHEET NUMBER:**

**G1.1**

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**CONSTRUCTION  
DOCUMENTS**

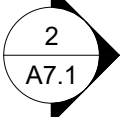




1. REFER TO PHASING PLAN ON G100.
2. G.C. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION, REPORT AND COORDINATE INCONSISTENCIES TO ARCHITECT.
3. G.C. TO PROTECT ALL ITEMS TO REMAIN AND ADJACENT SURFACES DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
4. PRIOR TO SUBMITTING BIDS, THE G.C. SHALL VISIT THE SITE AT THE MANDATORY PRE-BID MEETING AND BECOME FAMILIAR WITH THE PROJECT SCOPE. BIDS SHALL INCLUDE THE COST OF THE WORK, INCLUDING AT CONCEALED CONDITIONS. THE G.C. AND OTHER SEPARATE PRIME CONTRACTORS MAY REQUEST, IN WRITING AND PRIOR TO THE MANDATORY PRE-BID MEETING, TO INVESTIGATE EXISTING AND CONCEALED CONDITIONS DURING THE PRE-BID MEETING, PROVIDED SUCH INVESTIGATION GENERALLY RETURNS CONDITIONS TO THEIR PRIOR STATE BY THE END OF THE PRE-BID MEETING.
5. ALL SALVAGE RIGHTS REMAIN WITH THE OWNER, INCLUDING BUT NOT LIMITED TO: DOORS, HARDWARE, KITCHEN EQUIPMENT, ETC. G.C. TO COORDINATE WITH OWNER.
6. G.C. TO REPAIR ALL DAMAGE IN FLOOR OR WALLS WHICH IS A DIRECT RESULT OF DEMOLITION, OR HAS BEEN COMPROMISED.
7. G.C. TO PROVIDE ALL TEMPORARY SHORING, AS REQUIRED, DURING ALL DEMOLITION ACTIVITIES.
8. G.C. TO PROTECT ALL EXISTING FLOOR, WALL AND CEILING FINISH MATERIALS, FIXTURES AND EQUIPMENT TO REMAIN THROUGH OUT CONSTRUCTION UNLESS OTHERWISE NOTED. THIS INCLUDES DUST PROTECTION FOR ALL HEATING/COOLING ELEMENTS AND DUST PROTECTION TO SEPARATE OCCUPIED AREAS FROM DEMOLITION AND CONSTRUCTION ACTIVITIES.
9. G.C. IS RESPONSIBLE FOR TEMPORARY CLOSING UP THE BUILDING WHILE IT IS OPEN AND EXPOSED TO THE WEATHER.

2.1	REMOVE EXISTING WALL FRAMING, WALL FINISH AND COMPONENTS
2.3	REMOVE EXISTING STOREFRONT & ALL ASSOCIATED COMPONENTS
2.4	REMOVE EXISTING DOOR & ALL ASSOCIATED COMPONENTS
2.5	REMOVE EXISTING CASEWORK & ALL ASSOCIATED COMPONENTS
2.10	REMOVE EXISTING TILE FLOORING AND GROUT, GRIND SMOOTH
2.17	REMOVE EXISTING FLOOR RECEPTACLE AND PATCH HOLE

	NO WORK / SCOPE		REMOVE EXISTING CARPET		REMOVE EXISTING VINYL SHEET FLOORING AND ADHESIVE
	EXISTING TO REMAIN		REMOVE EXISTING VCT		REMOVE EXISTING CASEWORK
	REMOVE EXISTING WALL		REMOVE EXISTING TILE		REMOVE EXISTING TILE



**CONSULTANT:**

<b>DATE:</b>									
<b>DESCRIPTION:</b>									

DJ #: 24040	DRAWN BY: GMB/TLS
<b>SHEET TITLE:</b>	<b>DATE: 9/18/2024</b>

## AD1.1

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### CONSTRUCTION DOCUMENTS

THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE PRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION

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**FIRST FLOOR DEMOLITION PLAN**



**CONSULTANT:**

**THE CITY OF SUNBURY**  
225 MARKET ST, SUNBURY, PA  
17801

**FIRST FLOOR  
REFLECTED CEILING  
DEMOLITION PLAN**

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**SHEET NUMBER:**

## AD1.2



- ## DEMOLITION KEYNOTES

**DEMOLITION REFLECTED CEILING PLAN LEGEND**

 NO WORK / SCOPE



### GENERAL NOTES








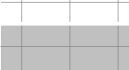

1. REFER TO PHASING PLAN ON G100.
2. G.C. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION. REPORT AND COORDINATE INCONSISTENCIES TO ARCHITECT.
3. G.C. TO PROTECT ALL ITEMS TO REMAIN AND ADJACENT SURFACES DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
4. G.C. TO PROTECT ALL EXISTING FINISH FLOOR MATERIALS TO REMAIN THROUGH OUT CONSTRUCTION UNLESS OTHERWISE NOTED.
5. G.C. IS RESPONSIBLE FOR TEMPORARY CLOSING UP THE BUILDING WHILE IT IS OPEN AND EXPOSED TO THE WEATHER.
6. G.C. TO PROVIDE 4" RUBBER BASE AT ALL WALL PARTITIONS UNLESS OTHERWISE NOTED. OWNER TO SELECT COLOR.
6. G.C. TO PROVIDE CONTROL JOINTS IN GYPSUM WALL BOARD EVERY 30' AND AS INDICATED.

### KEYNOTES

<XX> DEMOLITION      (XX) CONSTRUCTION

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### PLAN LEGEND

	NO WORK / SCOPE		REMOVE EXISTING CARPET		REMOVE EXISTING VINYL SHEET FLOORING AND CONCRETE SLAB AS REQD FOR WORK
	EXISTING TO REMAIN		REMOVE EXISTING VCT		REMOVE EXISTING CASEWORK
	WALL PARTITION		REMOVE EXISTING TILE		POURED CONCRETE, SUBSTRATE VARIES



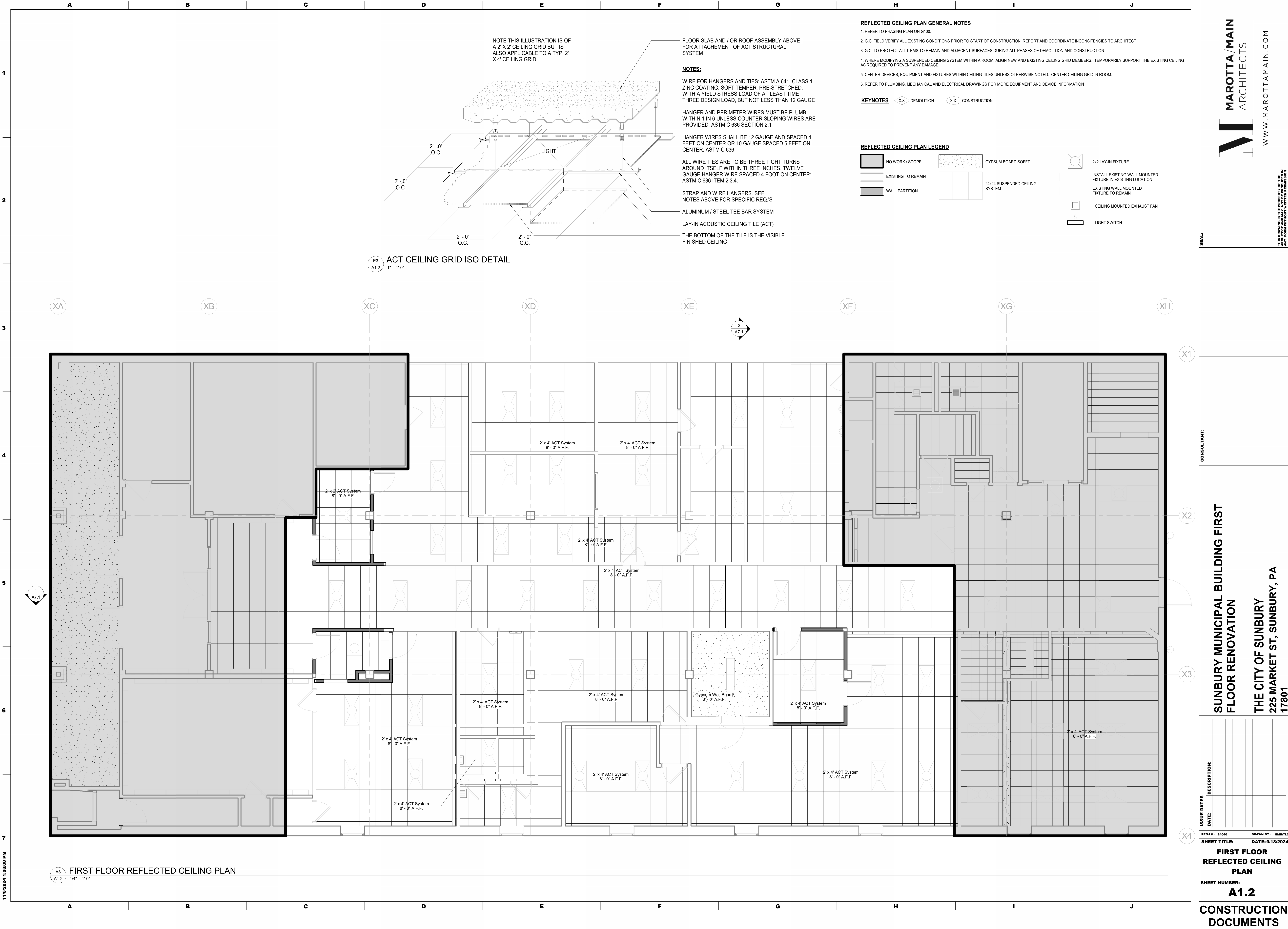
**THE CITY OF SUNBURY  
225 MARKET ST, SUNBURY, PA  
17801**

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**SHEET NUMBER:**

**CONSTRUCTION  
DOCUMENTS**



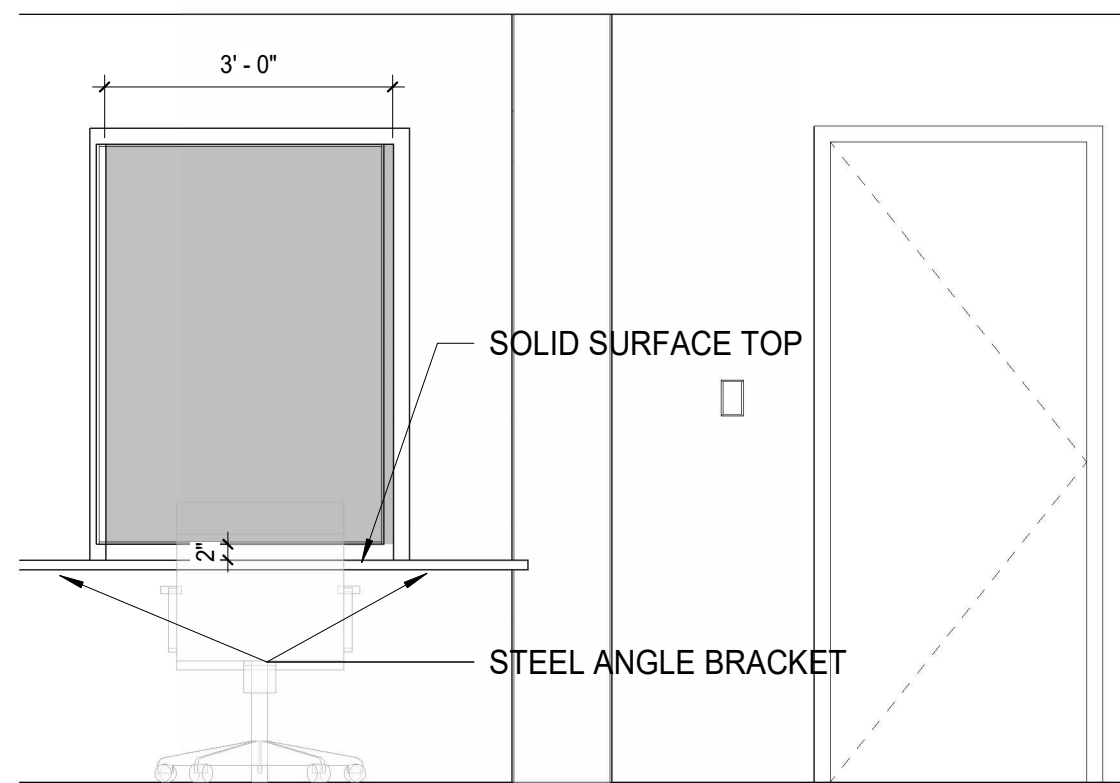
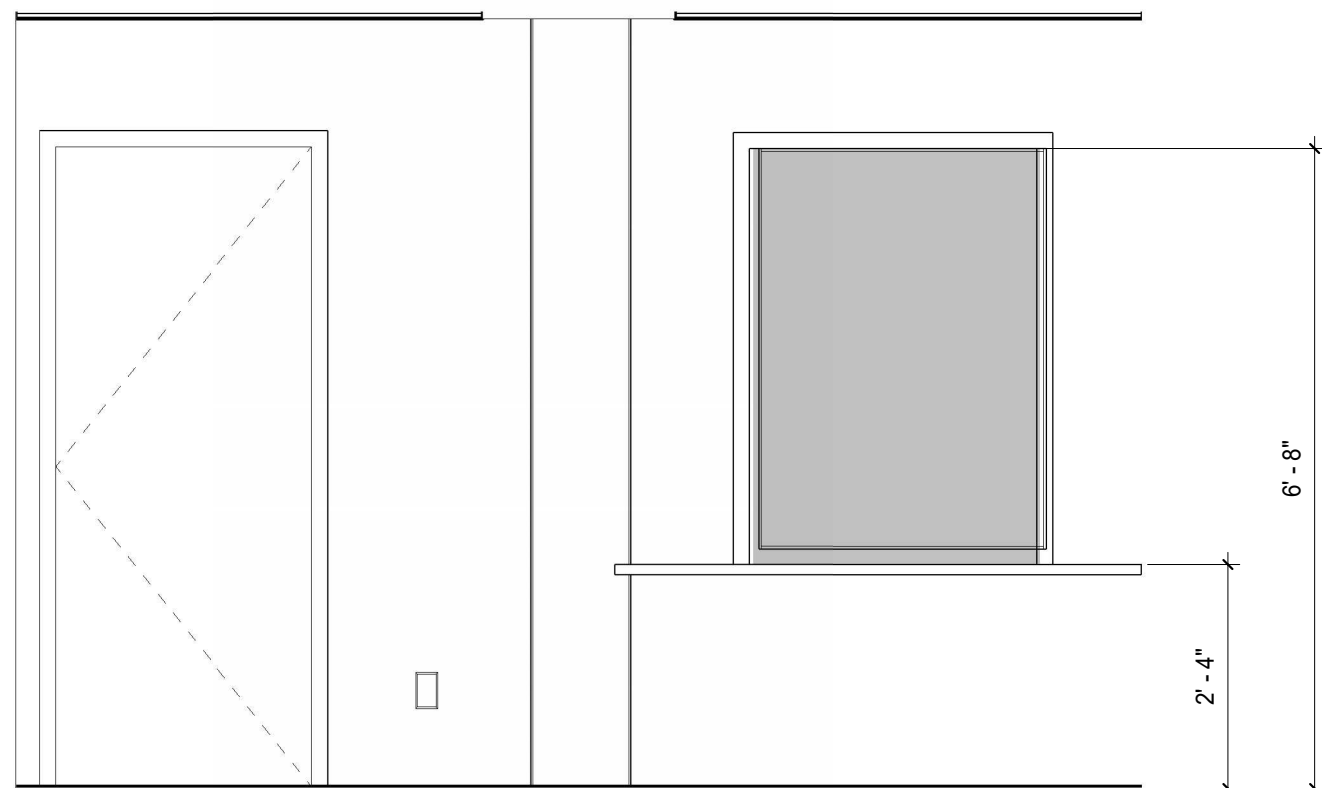
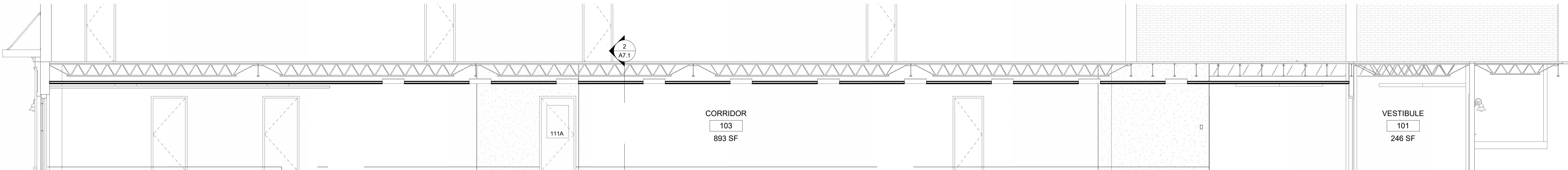
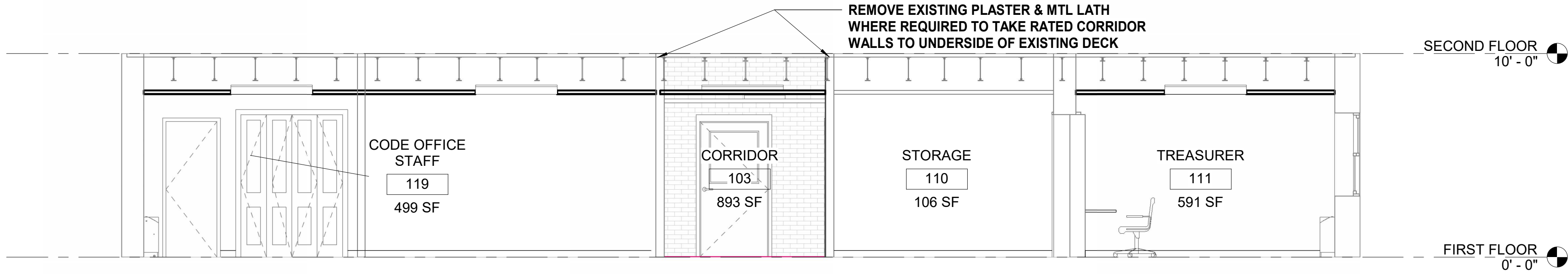




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FINISH SCHEDULE								
ROOM #	ROOM NAME	APPROX. AREA	APPROX. PERIMETER	FLOOR FINISH	BASE	WALLS	CEILING - SEE RCP	Comments
101	VESTIBULE	246 SF	69' - 11"	NO WORK	NO WORK	NO WORK	NO WORK	
103	CORRIDOR	893 SF	228' - 10 3/4"	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
105	MAYOR	351 SF	77' - 2 3/4"	NO WORK	NO WORK	NO WORK	NO WORK	
105A	CLOSET	17 SF	25' - 7"	NO WORK	NO WORK	NO WORK	NO WORK	
106	CLERK	373 SF	84' - 10 3/8"	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
106A	VESTIBULE	51 SF	30' - 9 17/32"	LVT	VB	GYP. BOARD	ACT - 2' x 4'	
107	STORAGE	123 SF	47' - 4 7/32"	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
108	BREAK ROOM	305 SF	106' - 9 7/8"	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
109	VEST.	19 SF	17' - 8"	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
110	STORAGE	106 SF	41' - 6 21/32"	NO WORK	NO WORK	NO WORK	PAINT EXIST PLASTER	
111	TREASURER	591 SF	117' - 5 3/4"	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
111A	TREASURER RECEPTION COUNTER	103 SF	40' - 10"	LVT	VB	GYP. BOARD	ACT - 2' x 4'	
112	OFFICE	175 SF	56' - 3 1/2"	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
112A	TOILETS	25 SF	19' - 10 3/4"	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
112B	WOMEN	Not Placed	Not Placed	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
113	MEETING ROOM	522 SF	99' - 3 1/2"	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
114	STAIR	126 SF	46' - 8 3/4"	EXISTING TO REMAIN	NO WORK	NO WORK	EXISTING TO REMAIN	
115	CONFERENCE ROOM	287 SF	68' - 11"	EXISTING TO REMAIN	NO WORK	NO WORK	EXISTING TO REMAIN	
116	VAULT	146 SF	48' - 5 1/2"	EXISTING TO REMAIN	NO WORK	NO WORK	EXISTING TO REMAIN	
117	CODE OFFICE LOBBY	634 SF	137' - 10 9/32"	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
117A	CODE OFFICE COUNTER	80 SF	38' - 4 9/32"	LVT	VB	GYP. BOARD	ACT - 2' x 4'	
118	OFFICE	Not Placed	Not Placed	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
119	CODE OFFICE STAFF	499 SF	136' - 9 31/32"	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
121	OFFICE	252 SF	70' - 4"	NO WORK	NO WORK	NO WORK	ACT - 2' x 4'	
125	WOMEN	109 SF	58' - 1 17/32"	EXISTING TO REMAIN	NO WORK	NO WORK	EXISTING TO REMAIN	TOILET PARTITION REPLACEMENT ONLY
126	UNISEX	37 SF	24' - 8"	EXISTING TO REMAIN	NO WORK	NO WORK	EXISTING TO REMAIN	
127	JC	13 SF	14' - 9 1/2"	EXISTING TO REMAIN	NO WORK	NO WORK	EXISTING TO REMAIN	
128	MEN	99 SF	49' - 8 1/2"	EXISTING TO REMAIN	NO WORK	NO WORK	EXISTING TO REMAIN	TOILET PARTITION REPLACEMENT ONLY
129	STAIR	115 SF	45' - 2"	EXISTING TO REMAIN	NO WORK	NO WORK	EXISTING TO REMAIN	
130	ELEVATOR	79 SF	35' - 6 1/2"	EXISTING TO REMAIN	NO WORK	NO WORK	EXISTING TO REMAIN	

DOOR SCHEDULE											
DOOR						FRAME		DOOR HARDWARE		FIRE RATING	COMMENTS
DOOR	WIDTH	HEIGHT	MATERIAL	FINISH	ELEV	MATERIAL	FINISH				
103	3' - 4 1/2"	6' - 8"	ALUMINUM	FACTORY	FULL GLASS	ALUMINUM	FACTORY	ENTRY LEVER w/ CLOSER & EXIT HARDWARE			
106	3' - 0"	6' - 8"	INSULATED METAL	PAINTED	1/2 GLASS	HOLLOW METAL	PAINTED	ENTRY LEVER, CLOSER			
106A	3' - 0"	6' - 8"	INSULATED METAL	PAINTED	1/2 GLASS	HOLLOW METAL	PAINTED	ENTRY LEVER, CLOSER		1 HOUR	
107G	3' - 0"	6' - 8"	INSULATED METAL	PAINTED	FLUSH	HOLLOW METAL	PAINTED	PASSAGE LEVER			
111	3' - 0"	6' - 8"	INSULATED METAL	PAINTED	1/2 GLASS	HOLLOW METAL	PAINTED	ENTRY LEVER w/ CLOSER			
111A	3' - 0"	6' - 8"	INSULATED METAL	PAINTED	1/2 GLASS	HOLLOW METAL	PAINTED	ENTRY LEVER w/ CLOSER		1 HOUR	
117	2' - 8"	6' - 8"	INSULATED METAL	PAINTED	1/2 GLASS	HOLLOW METAL	PAINTED	ENTRY LEVER w/ CLOSER			
117A	3' - 0"	6' - 8"	INSULATED METAL	PAINTED	1/2 GLASS	HOLLOW METAL	PAINTED	ENTRY LEVER w/ CLOSER		1 HOUR	



CONSULTANT:

SUNBURY MUNICIPAL BUILDING FIRST FLOOR RENOVATION  
THE CITY OF SUNBURY  
225 MARKET ST, SUNBURY, PA  
17801

ISSUE DATES		DESCRIPTION	
DATE:			
PROJ #:	24040	DRAWN BY:	Author
SHEET TITLE:		DATE:	9/18/2024
FLOOR FINISH PLAN AND FINISH SCHEDULE			
SHEET NUMBER:			

A7.1  
CONSTRUCTION DOCUMENTS

SEAL:

MAROTTA / MAIN ARCHITECTS

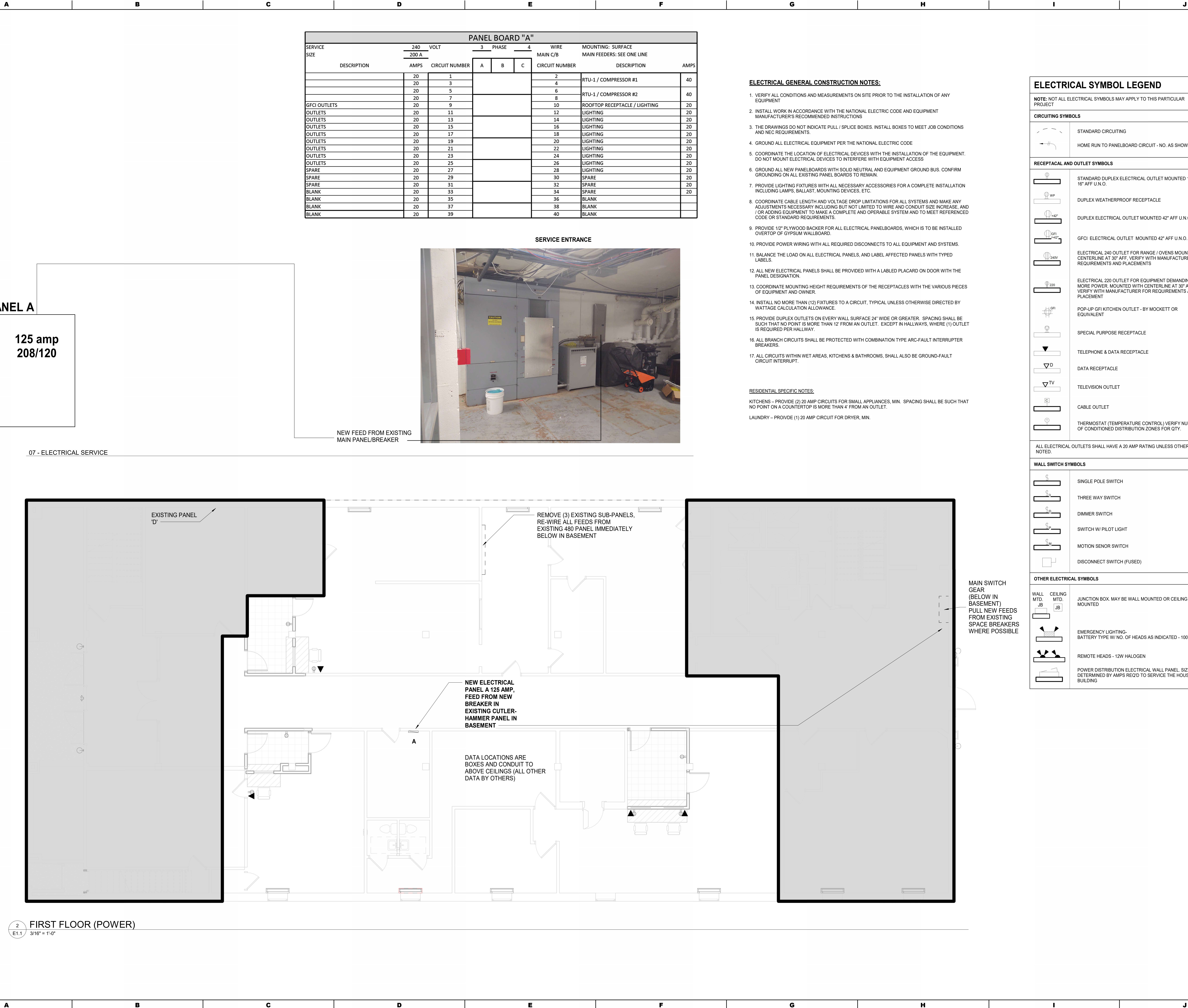
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ELECTRICAL GENERAL CONSTRUCTION NOTES:

1. VERIFY ALL CONDITIONS AND MEASUREMENTS ON SITE PRIOR TO THE INSTALLATION OF ANY EQUIPMENT
2. INSTALL WORK IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND EQUIPMENT MANUFACTURER'S RECOMMENDED INSTRUCTIONS
3. THE DRAWINGS DO NOT INDICATE PULL / SPLICE BOXES. INSTALL BOXES TO MEET JOB CONDITIONS AND NEC REQUIREMENTS.
4. GROUND ALL ELECTRICAL EQUIPMENT PER THE NATIONAL ELECTRIC CODE
5. COORDINATE THE LOCATION OF ELECTRICAL DEVICES WITH THE INSTALLATION OF THE EQUIPMENT. DO NOT MOUNT ELECTRICAL DEVICES TO INTERFERE WITH EQUIPMENT ACCESS
6. GROUND ALL NEW PANELBOARDS WITH SOLID NEUTRAL AND EQUIPMENT GROUND BUS. CONFIRM GROUNDING ON ALL EXISTING PANEL BOARDS TO REMAIN.
7. PROVIDE LIGHTING FIXTURES WITH ALL NECESSARY ACCESSORIES FOR A COMPLETE INSTALLATION INCLUDING LAMPS, BALLAST, MOUNTING DEVICES, ETC.
8. COORDINATE CABLE LENGTH AND VOLTAGE DROP LIMITATIONS FOR ALL SYSTEMS AND MAKE ANY ADJUSTMENTS NECESSARY INCLUDING BUT NOT LIMITED TO WIRE AND CONDUIT SIZE, INCREASE, AND / OR ADDING EQUIPMENT TO MAKE A COMPLETE AND OPERABLE SYSTEM AND TO MEET REFERENCED CODE OR STANDARD REQUIREMENTS.
9. PROVIDE 1/2" PLYWOOD BACKER FOR ALL ELECTRICAL PANELBOARDS, WHICH IS TO BE INSTALLED OVERTOP OF GYPSUM WALLBOARD.
10. PROVIDE POWER WIRING WITH ALL REQUIRED DISCONNECTS TO ALL EQUIPMENT AND SYSTEMS.
11. BALANCE THE LOAD ON ALL ELECTRICAL PANELS, AND LABEL AFFECTED PANELS WITH TYPED LABELS.
12. ALL NEW ELECTRICAL PANELS SHALL BE PROVIDED WITH A LABELED PLACARD ON DOOR WITH THE PANEL DESIGNATION.
13. COORDINATE MOUNTING HEIGHT REQUIREMENTS OF THE RECEPTACLES WITH THE VARIOUS PIECES OF EQUIPMENT AND OWNER.
14. INSTALL NO MORE THAN (12) FIXTURES TO A CIRCUIT, TYPICAL UNLESS OTHERWISE DIRECTED BY WATTAGE CALCULATION ALLOWANCE.
15. PROVIDE DUPLEX OUTLETS ON EVERY WALL SURFACE 24" WIDE OR GREATER. SPACING SHALL BE SUCH THAT NO POINT IS MORE THAN 12' FROM AN OUTLET. EXCEPT IN HALLWAYS, WHERE (1) OUTLET IS REQUIRED PER HALLWAY.
16. ALL BRANCH CIRCUITS SHALL BE PROTECTED WITH COMBINATION TYPE ARC-FAULT INTERRUPTER BREAKERS.
17. ALL CIRCUITS WITHIN WET AREAS, KITCHENS & BATHROOMS, SHALL ALSO BE GROUND-FAULT CIRCUIT INTERRUPT.

RESIDENTIAL SPECIFIC NOTES:

KITCHENS - PROVIDE (2) 20 AMP CIRCUITS FOR SMALL APPLIANCES, MIN. SPACING SHALL BE SUCH THAT NO POINT ON A COUNTERTOP IS MORE THAN 4' FROM AN OUTLET.

LAUNDRY - PROVIDE (1) 20 AMP CIRCUIT FOR DRYER, MIN.

ELECTRICAL SYMBOL LEGEND

NOTE: NOT ALL ELECTRICAL SYMBOLS MAY APPLY TO THIS PARTICULAR PROJECT

CIRCUITING SYMBOLS

- STANDARD CIRCUITING
- HOME RUN TO PANELBOARD CIRCUIT - NO. AS SHOWN.

RECEPTACAL AND OUTLET SYMBOLS

- STANDARD DUPLEX ELECTRICAL OUTLET MOUNTED 12" TO 18" AFF U.N.O.
- DUPLEX WEATHERPROOF RECEPTACLE
- DUPLEX ELECTRICAL OUTLET MOUNTED 42" AFF U.N.O.
- GFCI ELECTRICAL OUTLET MOUNTED 42" AFF U.N.O.
- ELECTRICAL 240 OUTLET FOR RANGE / OVENS MOUNTED WITH CENTERLINE AT 30" AFF. VERIFY WITH MANUFACTURER FOR REQUIREMENTS AND PLACEMENTS
- ELECTRICAL 220 OUTLET FOR EQUIPMENT DEMANDING MORE POWER. MOUNTED WITH CENTERLINE AT 30" A.F.F., VERIFY WITH MANUFACTURER FOR REQUIREMENTS AND PLACEMENT
- POP-UP GFI KITCHEN OUTLET - BY MCKEITT OR EQUIVALENT
- SPECIAL PURPOSE RECEPTACLE
- TELEPHONE & DATA RECEPTACLE
- DATA RECEPTACLE
- TELEVISION OUTLET
- CABLE OUTLET
- THERMOSTAT (TEMPERATURE CONTROL) VERIFY NUMBER OF CONDITIONED DISTRIBUTION ZONES FOR QTY.

ALL ELECTRICAL OUTLETS SHALL HAVE A 20 AMP RATING UNLESS OTHERWISE NOTED.

WALL SWITCH SYMBOLS

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- DIMMER SWITCH
- SWITCH W/ PILOT LIGHT
- MOTION SENOR SWITCH
- DISCONNECT SWITCH (FUSED)

OTHER ELECTRICAL SYMBOLS

- WALL MTD. JB
- CEILING MTD. JB
- JUNCTION BOX. MAY BE WALL MOUNTED OR CEILING MOUNTED
- EMERGENCY LIGHTING- BATTERY TYPE W/ NO. OF HEADS AS INDICATED - 100W
- REMOTE HEADS - 12W HALOGEN
- POWER DISTRIBUTION ELECTRICAL WALL PANEL. SIZING DETERMINED BY AMPS REQ'D TO SERVICE THE HOUSE/ BUILDING

CONSULTANT:

SUNBURY MUNICIPAL BUILDING FIRST FLOOR RENOVATION  
THE CITY OF SUNBURY  
225 MARKET ST, SUNBURY, PA  
17801

ISSUE DATES  
DATE: DESCRIPTION:

PROJ #1 : 24040  
SHEET TITLE: DATE: 9/18/2024

ELECTRICAL PLAN - POWER

SHEET NUMBER:

E1.1  
CONSTRUCTION DOCUMENTS

SEAL:

MAROTTA / MAIN ARCHITECTS  
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LIGHTING SCHEDULE											
TAG	Description	Manufacturer	Catalogue Number	Mounting	Lamps			Watts	Quantity	Total Watts	Remarks
					Type	No.	Description				
DL	6" LED DOWNLIGHT	RAB	CRLEDFA-6R-24S-9CCT-UNV-WS	RECESSED	LED	1	24 WATT DIMMABLE LED BULB	2700 K	24	0	
DLX	6" LED DOWNLIGHT - EXTERIOR RATED	RAB	CRLEDFA-6R-24S-9CCT-UNV-WS	EXTERIOR SOFFIT	LED	1	24 WATT DIMMABLE LED BULB	2700 K	24	4	96
LI	2x2 FLAT PANEL LED LAY-IN	RAB	EZPANFA2X2/D10	LAY-IN	LED	1	30 WATT DIMMABLE 30 WATT DIMMABLE	3500 K	30	6	180
LI	2x4 FLAT PANEL LED LAY-IN	RAB	EZPANFA2X4/D10	LAY-IN	LED	1	30 WATT DIMMABLE 30 WATT DIMMABLE	3500 K	30	73	2190
C	CLOSET LIGHT	RAB	NILED, 4"	RECESSED	LED	1	12 WATT	3000 K	12	0	0
WP	WALL PACK	RAB	WIT-30L	WALL MOUNT	LED	1	30 WATT	3000 K	30	0	0
FL	FANLIGHT COMBO	DELTA	GBR80LED	LAY-IN	LED	1	FANLIGHT	N/A	11	0	0
EMERG	EMERGENCY LIGHTING	LIGHTALARMS	LCA-2RHLED	WALL MOUNT	LED	2					
EXIT	EXIT LIGHTING	LIGHTALARMS	UQLXN500-2LED	WALL MOUNT	LED						
NOT ALL FIXTURES ARE USED ON PROJECT									THIN PROFILE LED EXIT / LED WALL MOUNT EXIT SIGN (OR EQUIVALENT) CONFIRM WITH OWNER		
REVIEW ALL FIXTURES WITH OWNER PRIOR TO ORDERING.									2406 TOTAL WATTS		
									1.97 TOTAL WATTS/SF		

L-2 SURFACE STRIP LIGHT RAB GUS17 48"

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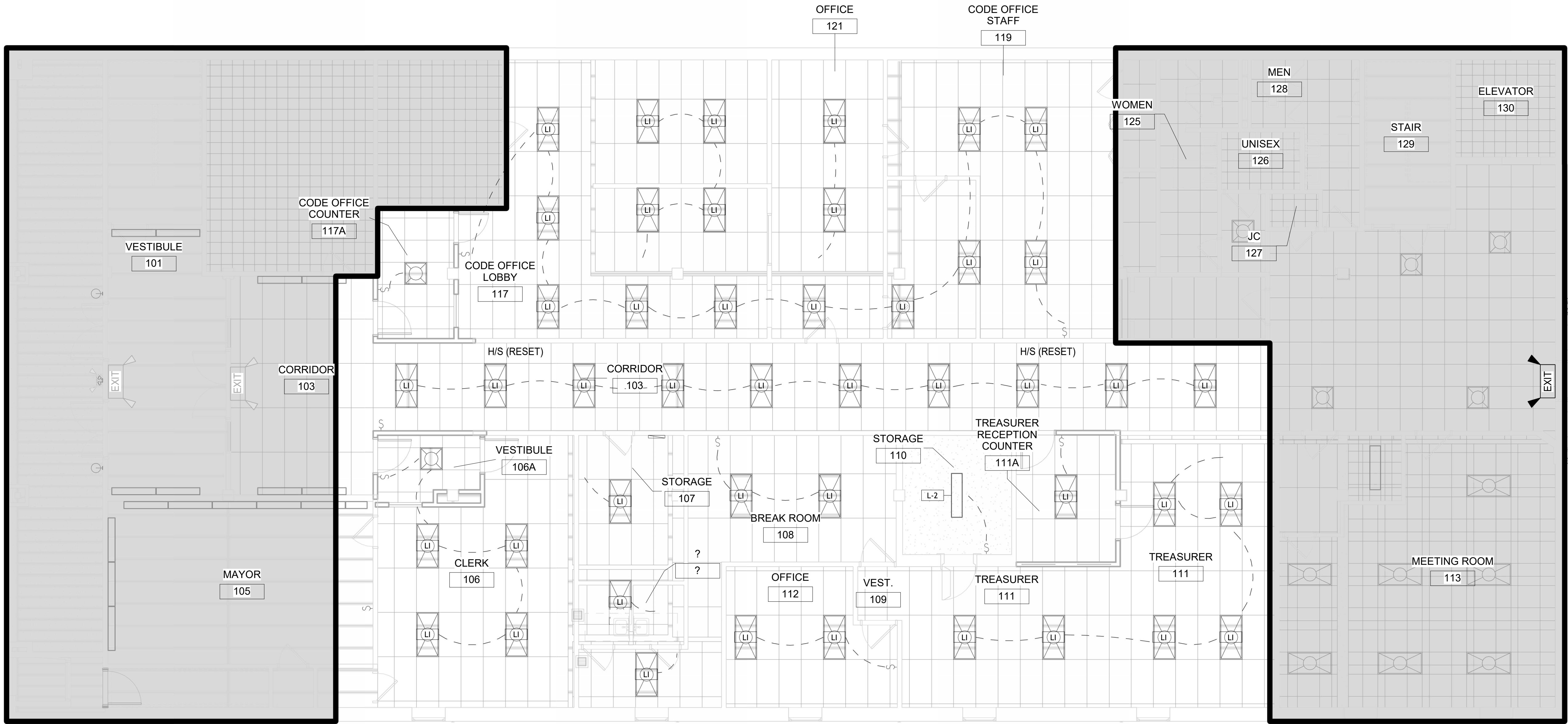
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1 FIRST FLOOR RCP (LIGHTING)  
E1.2 3/16" = 1'-0"

SEAL:

CONSULTANT: